



**BUILDING DEPARTMENT**  
Moore Engineering, inc.  
925 10<sup>TH</sup> AVENUE EAST  
WEST FARGO, ND 58078  
PHONE: 701-281-0597 FAX: 701-433-0376

## **GUIDELINE FOR BUILDING ADDITIONS TO DWELLINGS**

This handout is a guide only and does not contain all the requirements of the City of West Fargo Building Code or City Ordinance

**Building Permits** are required for all additions to any dwelling or accessory structures. Separate permits are required for HVAC, Electrical and Plumbing work.

**Building Permit Fees** are based on the valuation of the construction project; this includes the materials and labor. If you will be doing the work yourself an estimate of labor cost shall be determined and included with the cost of materials.

### **General Building Permit Application Requirements:**

- ❖ Name, address and telephone number of person making application.
- ❖ Name, address and telephone number of person owning the property.
- ❖ Name, address and telephone number of Contractor, architect/designer and all subcontractors.
- ❖ Job cost
- ❖ Job description must indicate the entire scope of work to be completed (levels to be finished or unfinished, etc.)

### **Plans Required:**

- ❖ Provide a total of 2 sets of bound and clearly marked plans with the following contents:
- ❖ Residential Building Permit Application.
- ❖ Approval letters if required by area developers.
- ❖ One complete set of engineered truss specs and layout details.
- ❖ (2) Copies of site plan to include lot & block description, all easements and must show all structures as they sit on the lot and the actual dimensions from property lines to the structures.
- ❖ (2) Copies construction drawings to include: elevations, dimensioned floor plans for all levels, section detail of wall, roof, foundation (size of footings, walls & rebar size & spacing) & materials being used. **(All construction drawings must be to a minimum 1/8" scale and 11x17 sized paper.)**
- ❖ Professional engineered designs may be required if the plan review indicates structure or parts thereof exceed the requirements of the Building Code (IRC & IBC).
- ❖ If engineered designs are required, they must have the original wet stamp signature of the design professional.

### **REQUIRED INSPECTIONS**

1. **Site/Footing** – to approve accessory structure location and footing prior to pouring concrete.
2. **Foundation wall** – to approve rebar placement prior to pouring concrete.
3. **Framing** – after completion of structural frame, sheathing and roof to the building frame, and prior to covering the structural frame. All Electrical, HVAC, and Plumbing shall be installed and inspected before calling for framing inspection.
4. **Insulation** – after all insulation and air barrier is installed, prior to hanging sheetrock.
5. **Final** – when addition is completed and prior to occupying.

It shall be the responsibility of the permit holder to notify the Building Department when work is ready to be inspected. No work shall commence until the inspection is complete and approved.

## **BUILDING CONSTRUCTION GUIDELINES**

- 1. Setbacks** – Included with this guideline is Zoning Information with setback requirements for dwellings. All additions must conform to the current setback requirements regardless of the location of existing structure being added to.
- 2. Building Size** – The maximum area for a dwelling is generally restricted by the maximum lot coverage.
- 3. Light, ventilation and heating** – All habitable rooms shall aggregate glazing area of not less than 8% of the floor area of the room and have natural ventilation through windows, doors, louvers or other approved openings with a minimum openable area of 4% of the floor area being ventilated. Use of artificial light and mechanical ventilation shall be approved by the Building Department. All dwellings shall have heating facilities capable of maintaining room temperature of 68 degrees at a point 3 feet above the floor and 2 feet from the exterior wall in all habitable rooms.
- 4. Room area and height** – All dwellings shall have one habitable room at least 120 square feet and other habitable rooms shall be not less than 70 square feet. All rooms shall have a ceiling height of not less than 7 feet.
- 5. Garage and dwelling separation** – Garages shall be separated from the residence and its attic area by less than ½” fire rated gypsum board applied to the garage side
- 6. Emergency escape and rescue openings** - Basements with habitable space and all sleeping rooms are required to have emergency escape and rescue openings. Where the basement contains one or more sleeping rooms, emergency escape and rescue openings shall be required in each sleeping room, but shall not be in the adjoining areas of the basement. See attached sheet for minimum requirements for egress windows.
- 7. Means of egress** - Means of egress from all dwellings shall be directly to the exterior and shall not require traveling through a garage. Egress door shall be a side hinged door not less than 3 feet in width and not less than 6 feet 8 inches in height. Landings shall be provided on both sides of the door.
- 8. Smoke alarms** - Smoke alarms are required in each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms and on each additional story including the basement. All smoke alarms shall be interconnected. When interior alteration or remodeling that requires a permit or when bedrooms are added or created the entire dwelling shall have smoke alarms installed and shall be interconnected and hard wired.
- 9. Moisture vapor retarder** - Moisture vapor retarder is required for all framed walls, floors and roof/ceilings comprising elements of the building thermal envelope and shall be installed on the warm-in-winter side of the insulation.
- 10. Footing and Foundation** – Frost protected footings are required for dwellings. Frost depth is 54 inches. Sill plates shall be treated and shall be anchored by approved foundation anchor bolts (1/2”) embedded into the concrete, with a washer and nut spaced not more than 6 feet on center and within 12 inches of each end and splice.
- 11. Floors** – Manufactured floor trusses or engineered wood I-joint shall be installed as per manufacturer’s instructions. If solid sawn lumber is used, the size of the joist is determined by the span and spacing of the joist. Floor sheathing must be of approved span rated sheathing.
- 12. Walls** - Bottom plate shall be of at least the same width as the wall studs. Wall studs shall be a minimum 2 X 4 and space maximum 24 inches on center, with three wall studs at each exterior corner. Wall studs shall be capped with double top plates overlapped at corners and end joints offset at least 24 inches. Structural wall sheathing is recommended. Headers must have at least one trimmer stud under each end. Headers over 5 feet shall have a minimum of two trimmer studs under each end. Headers for openings greater than 8 feet shall be approved by the Building Department. (Consider pre-engineered laminated veneer lumbars for openings greater than 6 feet.)
- 13. Roofs** – Manufactured roof trusses are highly recommended. If solid sawn lumber is used, the size of the rafter is determined by the span and spacing of the rafter. Roof sheathing must be of approved span rated sheathing.
- 14. All residential construction shall meet the minimum requirements of the City of West Fargo Building Code as per Chapter V of the West Fargo City Ordinance.**

The following sheets are only provided as reference to assist you in drafting your plans for your project.



# Residential Building Permit Application

**BUILDING INSPECTIONS**  
 925 10<sup>TH</sup> AVENUE EAST  
 WEST FARGO, ND 58078  
 PHONE: 701-281-0597  
 FAX: 701-433-0376

Incomplete applications will cause delays in the routing/review and permitting process.

Project Title*:		Office use only:	
Address:			
Project Value:			
Project Description:			
Owner:		Contact Person:	
Address:		Phone:	Fax:
		E-mail:	
Designer:		Contact Person:	
Address:		Phone:	Fax:
		E-mail:	
General Contractor:		Contact Person:	
Address:		Phone:	Fax:
ND Contractor License No.		E-mail:	
Foundation Contractor:		Mechanical Contractor:	
Phone:		Phone:	
E-Mail:		E-Mail:	
ND Contractor License No.		ND Contractor License No.	
Excavator:		Yard Grading Contractor:	
Phone:		Phone:	
Plumbing Contractor:		Electrical Contractor:	
Phone:		Phone:	

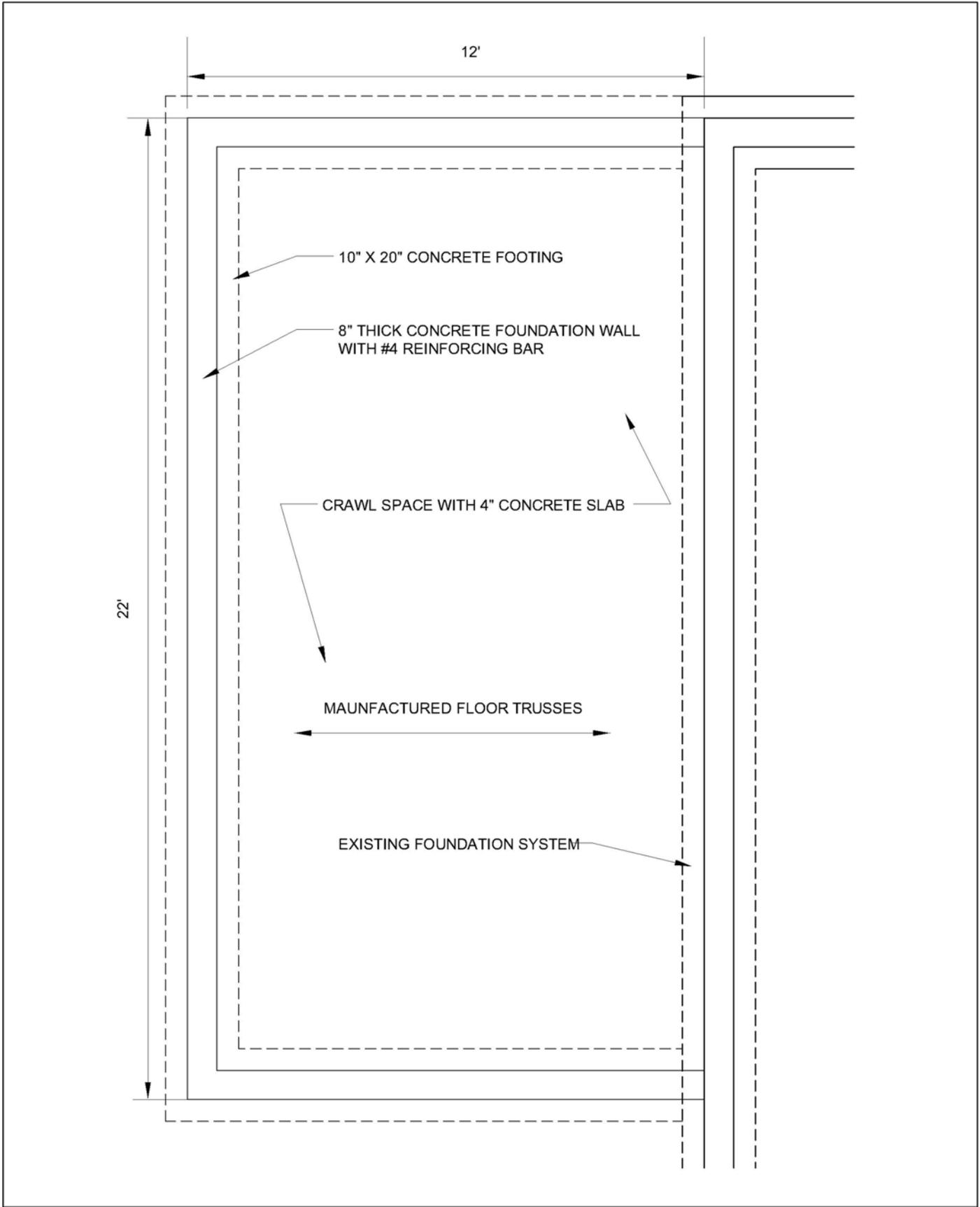
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RESIDENTIAL	YARD REQUIREMENTS							
	MINIMUM LOT SIZES			MINIMUM SETBACKS (FT.)			MAX. LOT COVERAGE	MAXIMUM HEIGHT
	AREA	WIDTH	DEPTH	FRONT YARD	REAR	SIDE YARD		
<b>A - AGRICULTURAL</b>								
FARM USE	None	300	300	(3)	50	20 (4)	NA	None
NON FARM USE (1)	(2)	300	300	(3)	50	20 (4)	NA	35
<b>RR - RURAL RESIDENTIAL</b>								
ONE FAMILY	2.5 acres	150	200	40 (6)	30	20 (7)	15	35 (16)
<b>R-1E - RURAL ESTATES</b>								
ONE FAMILY	43560 (8)	120	200	30 (6)	30	10 (7)	15	35
<b>R-L1A - LARGE LOT SINGLE FAMILY</b>								
ONE FAMILY	10000	75	120	25	30	6 (9)	30	30
<b>R-1A - SINGLE FAMILY DWELLING</b>								
ONE FAMILY	6000	60	100	25	30	6 (9)	30	30
<b>R-1 - ONE &amp; TWO FAMILY DWELLINGS</b>								
ONE FAMILY	5000	50	100	25	30	5 (9)	30	30
TWO FAMILY	7000	70	100	25	30	7 (9)	30	30
TOWN HOMES	3500	35	100	25	30	7 (9)	30	30
<b>R-1B SPECIAL SINGLE FAMILY</b>								
ONE FAMILY	6000	60	100	20	25	5 (9)	35	30
<b>R-1S - SPECIAL ONE &amp; TWO FAMILY DWELLINGS</b>								
ONE FAMILY	4000	40	100	15	20	5 (9)	45	30
TWO FAMILY	6000	60	100	15	20	6 (9)	45	30
TOWN HOMES	3000	30	100	15	20	6 (9)	45	30
<b>R-1SM - MIXED ONE &amp; TWO FAMILY DWELLINGS</b>								
ONE FAMILY	3600	36	100	20	20	4 (9)	45	35
TWO FAMILY	6000	60	100	20	20	5 (9)	45	35
TOWN HOMES	3000	30	100	20	20	5 (9)	45	35
<b>R-2 - LIMITED MULTIPLE DWELLING</b>								
ONE FAMILY	5000	50	100	25	30	5 (9)	30	30
TWO FAMILY (LOTS)	6000 (11)	50 (13)	100	25	30	6 (9)	40	30
TWO FAMILY (LOTS)	6000 (11)	60 (14)	100	25	30	6 (9)	35	30
TOWN HOMES	3000	24	100	25	30	8 end unit (9) 0	40	35 (16)
MULTIPLE DWELLINGS	(12)			25	30	(9) (10)	40	35 (16)
<b>R-3 - MULTIPLE DWELLINGS</b>								
ONE FAMILY	5000	50	100	25	25	5 (9)	30	30
TWO FAMILY (LOTS)	6000 (11)	50 (13)	100	25	25	6 (9)	40	30
TWO FAMILY (LOTS)	6000 (11)	60 (14)	100	25	25	6 (9)	35	30
TOWN HOMES	3000	24	100	25	25	8 end unit (9) 0	40	35 (16)
MULTIPLE DWELLINGS	(12)			25	25	(9) (10)	40	35 (16)
<b>R-4 MOBILE HOME</b>								
	SEE TITLE XVI OF THE CITY OF WEST FARGO ORDINANCES							
<b>R-5 MOBILE HOME/MANUFACTURED HOME SUBDIVISION</b>								
ONE FAMILY	6000	60	130	25	10	7.5 (9)	30	30

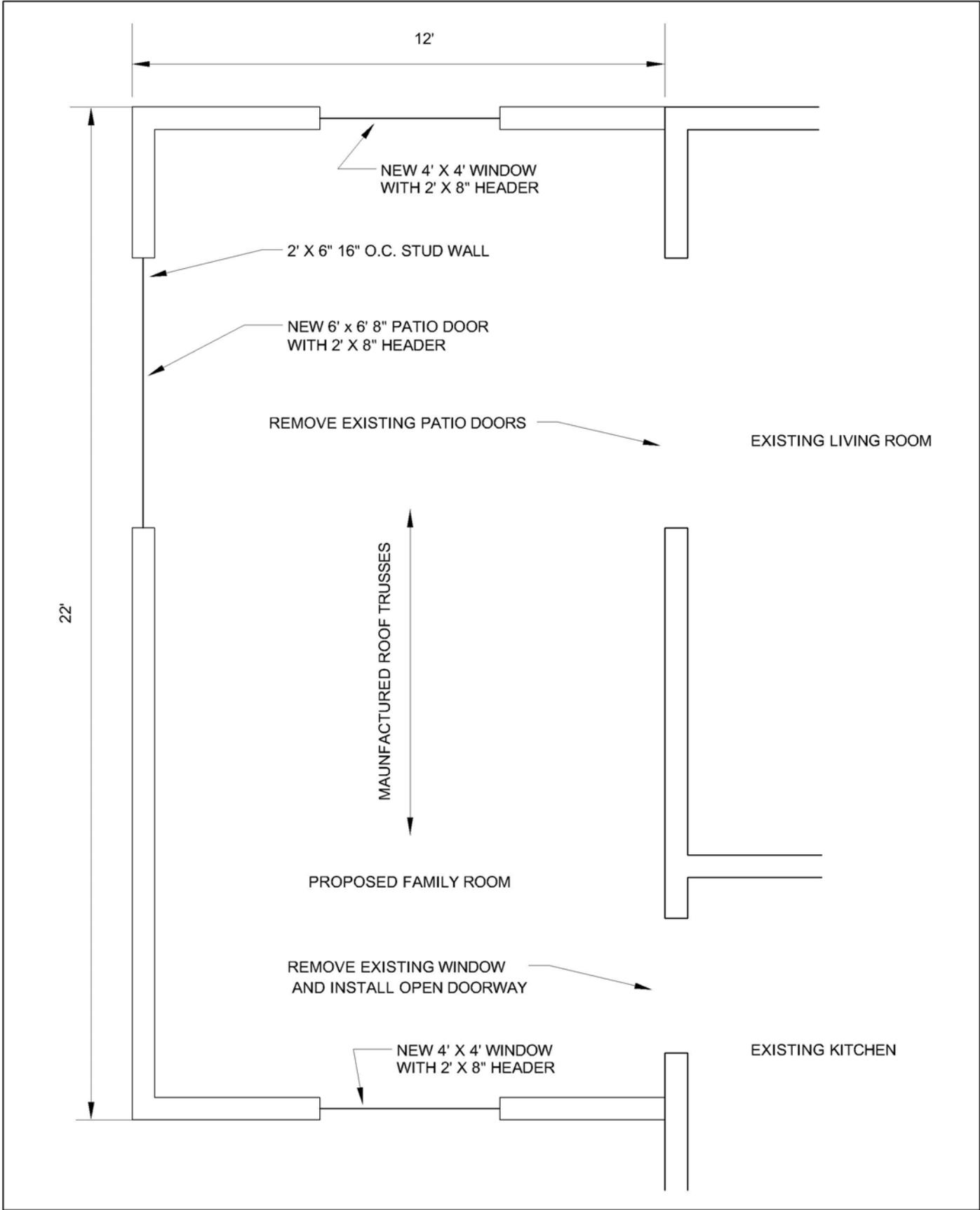
ZONING DISTRICTS

- (1) Single family non-farm dwellings are conditionally permitted.
- (2) Single family dwellings on lots of record – 1 acre; Single family dwellings on newly created lots – 40 acres.
- (3) From local road: 120' from centerline or 40' from the established right of way, whichever is greater; from collector or arterial road: 150' from centerline or 75' from established right of way, whichever is greater.
- (4) Side yard setbacks for street side of corner lots shall be the same as required for front yards.
- (5) Subdivisions within areas designated as Agricultural Preservation according to the Land Use Plan shall have a minimum lot size of 10 acres. Clustered rural subdivisions may have reduced lot sizes as provided for in the City Ordinance.
- (6) Front yard setbacks from existing or future streets shall be 40' from the road (street) right of way line, or the following, whichever is greater: 75' from the centerline of the street for local streets, 90' for collector or minor arterial streets and 115' for primary arterial streets.
- (7) On corner lots, a side yard facing a public way shall be a minimum of 30'.
- (8) Clustered rural subdivisions may have reduced lot sizes as provided for in the City Ordinance.
- (9) On corner lots, a side yard facing a public way shall be a minimum of 12 feet, except when a driveway to a garage is located in said side yard, in which case, the side yard shall be a minimum of 20 feet, except for lots of 50 feet or less, in which case, the minimum setback shall be 18 feet. In this case, the house may be 12 feet, but the garage must be a minimum of 20 feet on lots greater in width than 50 feet, or 18 feet on lots 50 feet or less in width.
- (10) 12% of the lot width, with a maximum of 12 feet.
- (11) A duplex which consists of 2 units on one lot is required to have a minimum lot area of 6000 square feet. A twin home which consists of 2 units side by side with a common party wall is required to have a minimum lot area of 3000 square feet for each unit.
- (12) 1800 square feet for each dwelling unit plus 200 square feet for each bedroom, with a minimum permitted lot area of 8000 square feet. Efficiency units shall be considered one-bedroom units for the purpose of lot computation.
- (13) A duplex is required to have a minimum lot width of 50 feet, whereas a twin home is required to have a minimum lot width of 25 feet for each unit.
- (14) A duplex is required to have a minimum lot width of 60 feet, whereas a twin home is required to have a minimum lot width of 30 feet for each unit.
- (15) For main building and all accessory buildings.
- (16) For every building over 35 feet in height, required yards shall be increased by one (1) foot for every two (2) feet of building height over the limit.



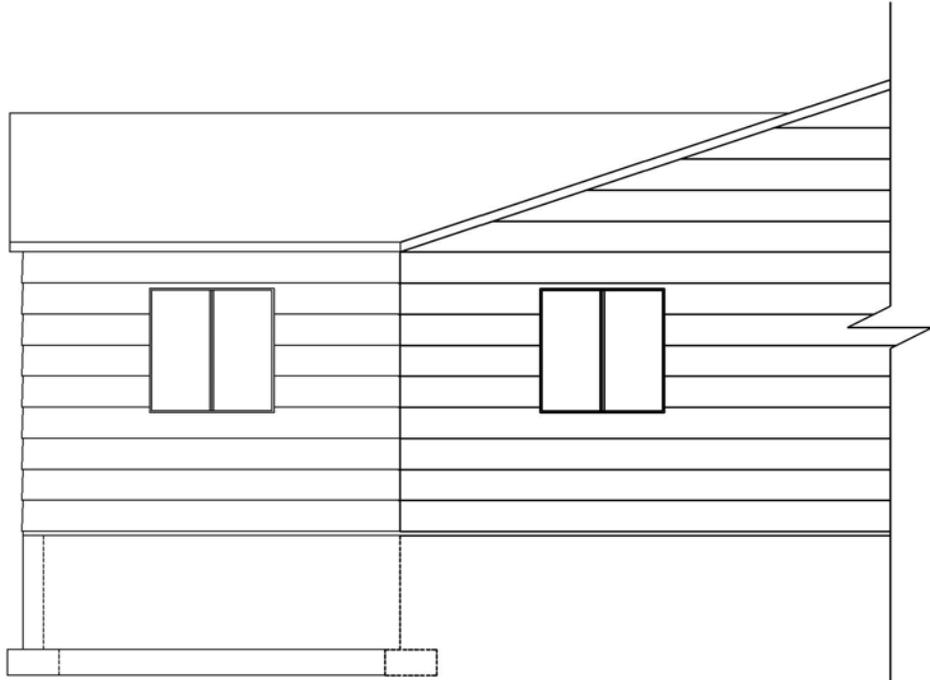
TYPICAL FOUNDATION PLAN

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TYPICAL FLOOR PLAN

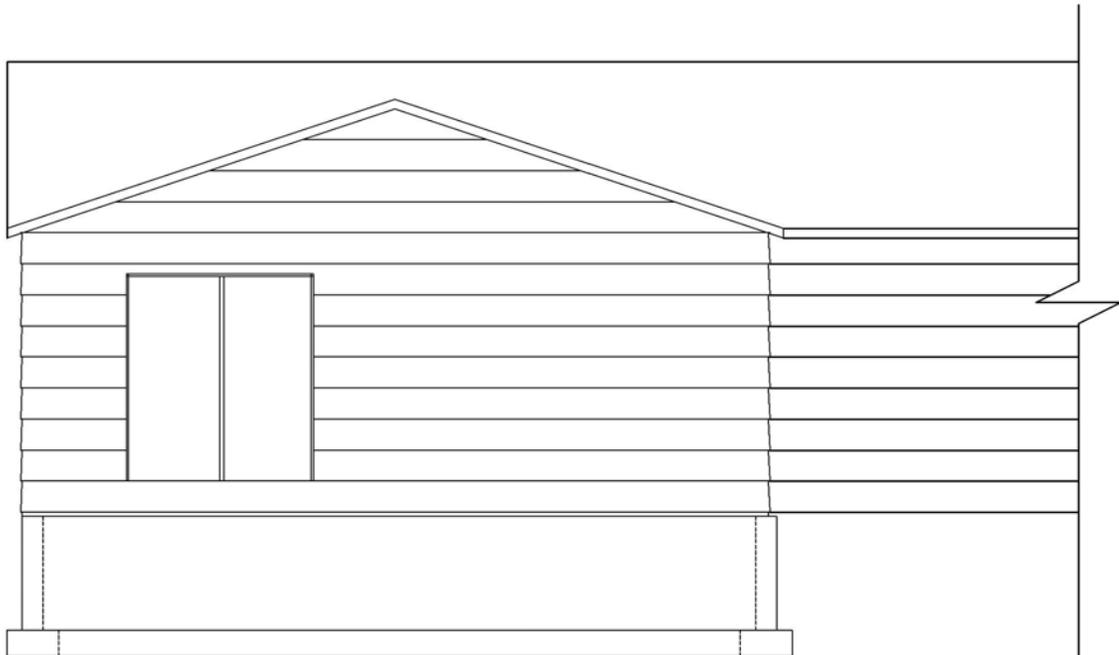
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DRAWN BY MAH	PROJ. NO.	SCALE N.T.S.	OF 1



PROPOSED

EXISTING

WEST ELEVATION



PROPOSED

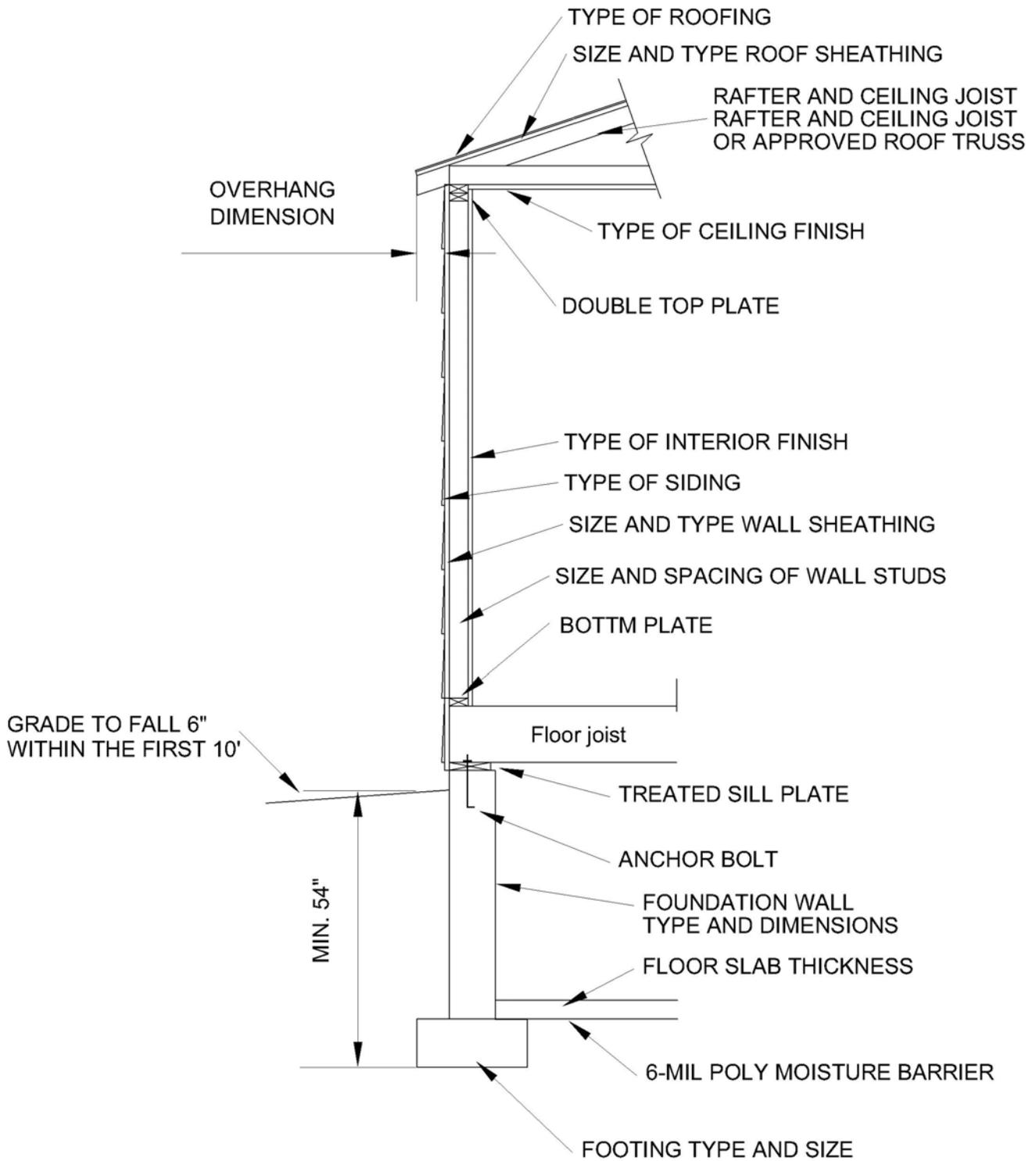
EXISTING

NORTH ELEVATION



TYPICAL ELEVATION PLAN

DATE AUG. 2006	REVISED	CH'D BY	DRAWING 1
DRAWN BY MAH	PROJ. NO.	SCALE N.T.S.	OF 1



TYPICAL WALL SECTION DETAIL

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DRAWN BY MAH	PROJ. NO.	SCALE N.T.S.	OF 1